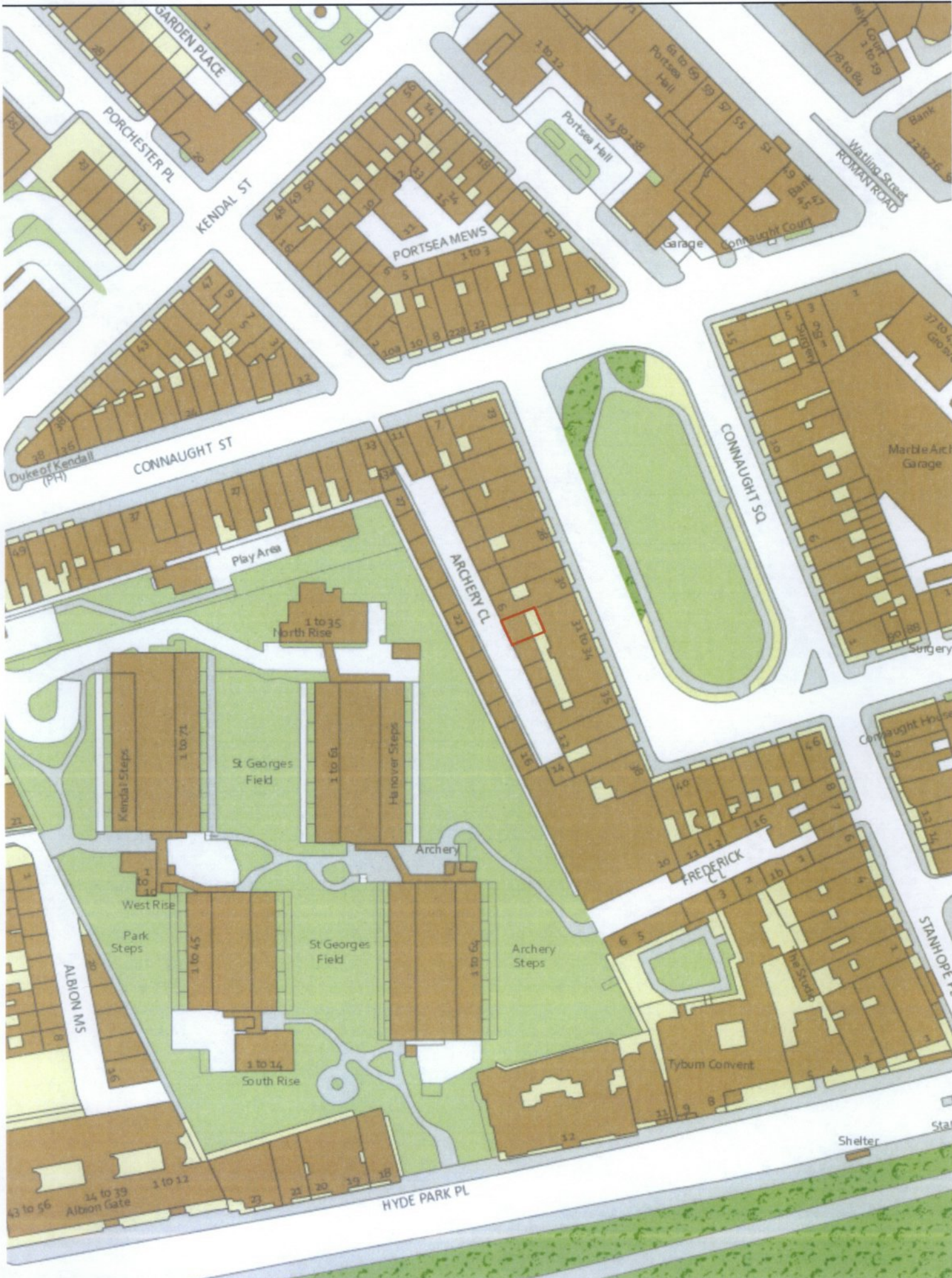


CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 10 March 2015	Classification For General Release	
Report of Operational Director Development Planning		Wards involved Hyde Park	
Subject of Report	7 Archery Close, London, W2 2BE		
Proposal	Erection of glazed openable roof to enclose rear garden at lower ground floor level.		
Agent	Turley		
On behalf of	c/o agent		
Registered Number	14/11604/FULL	TP / PP No	TP/25374
Date of Application	24.11.2014	Date amended/ completed	26.01.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Bayswater		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission.





7 ARCHERY CLOSE, W2

2. SUMMARY

No. 7 Archery Place is a modern two storey plus basement mews property located within the Bayswater Conservation Area. The property has an authorised use as a dwellinghouse.

Permission is sought for the erection of a glazed openable roof to enclose the rear garden at lower ground floor level.

The key issues in this case are:

- The impact of the proposals on the residential amenity of neighbouring occupiers.
- The impact of the proposed works on the character and appearance of the Bayswater Conservation Area.

An application for a similar proposal involving the enclosure of the same area with a fully glazed, slightly higher retractable roof with a glazed side panel resting on the boundary wall with No.8, was approved in September 2013. A roof enclosure was constructed at the property which was not built in accordance with the approved scheme. The construction was higher than the approved scheme and had more non glazed elements, particularly on the elevation adjacent to No. 8 Archery Close. An enforcement notice was served in August 2014 requiring that the works be removed or that they be altered in accordance with the planning permission granted in September 2013. An appeal has been made against the enforcement notice on the grounds that planning permission should be granted for the works that had been carried out and that the City Council has not allowed adequate time for the notice to be complied with. The proposals under consideration for this application propose a reduced height roof/enclosure.

The proposals are considered to comply with the Council's policies in relation to design, conservation and amenity as set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies and the application is recommended for approval.

3. CONSULTATIONS

FIRST CONSULTATION

HYDE PARK ESTATE ASSOCIATION

Any response to be reported verbally.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 14; Total No. of Replies: 2.

One comment from neighbour that the upheaval created by ongoing works at the site and neighbouring properties should be considered.

One objection letter from neighbours at 8 Archery Close on the following grounds.

Design

- Approved design was lightweight compared with what was built which was more solid with cavity wall, part solid roof and heavy dark coloured metal frame and with a height of 3.45m as opposed to the approved 2.6m. Loss of much of rear wall to create open plan area rather than adding two patio doors and two fixed windows as shown on the approved drawings.

Amenity

- Decrease in light - any height increase above 2.6m and not of glass construction should not be acceptable.

- Extension occupies 100% of curtilage which increases the sense of enclosure and is overwhelming to residents of 8 Archery Close and does not provide amenity space for sitting out, rainwater drainage and repair and maintenance of surrounding properties.
- Solid wall and solid elements of roof mean that the proposal still creates a sense of enclosure to No.8.

Other

- Were not consulted on previous application.
- Drawings inaccurate, especially position of balcony handrail lintel and height of person standing on flat roof. Also show different heights in different drawings.
- Height should be measured from patio of No.8 as 7 Archery Close patio has been raised by 15cm.
- Title of application as "glass enclosure" wrong because no glass side panel and part solid roof.

ADVERTISEMENT/SITE NOTICE: Yes.

SECOND CONSULTATION (CORRECTION TO INACCURACIES IN DRAWINGS AND CHANGES TO DRAINAGE ARRANGEMENTS)

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 15; Total No. of Replies: 1.

One objection letter from neighbours at 8 Archery Close on the following grounds (to be added to previous objections).

Design

- Present application not a lightweight glass enclosure.
- Incompatible with surrounding residential environment - more commercial than residential.

Amenity

- Still a decrease in light as shown by 45 degree angle. State that any height above 2.6m will interfere with light to Archery Close and should not be acceptable as previously stated by the Planning department.
- Sense of enclosure created by solid nature of extension and side wall.
- Current planning application occupies 100% of curtilage of No.7 resulting in increased sense of enclosure to residents of No. 8.
- Also results in a lack of ability to drain rainwater within property boundary, repair and maintenance space.

Other

- Were not consulted on previous application.
- Previous application did not involve removal of external wall just new windows. Did not have planning permission to incorporate into building and increase floorspace.
- Original planning permission was totally ignored and replaced by unauthorised extension. City of Westminster was aware it had been constructed incorrectly as at a later date were supplied with name of Approved Inspector's firm for Building Regulations.
- Dividing wall not a party wall but on side of No. 8.
- Previous planning permission decision main consideration was its lightweight and inconspicuous nature.
- Title of application as "glass enclosure" wrong because no glass side panel and part solid roof.
- No provision within the boundary of No.7 for rainwater drainage. Current guttering is attached to nothing and water cascades onto patio of 8 Archery Close. Coping stones

added to boundary wall with No. 8 should be removed to prevent splashing onto No. 8 which can affect foundations and increase dampness in No. 8.

- Applicant should be required to demolish unauthorised extension and Council should not consider alternative applications until this is done.
- Question why need to make a further application on same subject.
- Question how Building Regulations was signed off "off plan".

4. BACKGROUND INFORMATION

4.1 The Application Site

No. 7 Archery Place is a modern two storey plus basement mews property located within the Bayswater Conservation Area. The property has an authorised use as a dwellinghouse.

4.2 Relevant History

Planning permission was granted in September 2013 (Ref: 13/05253/FULL) for the erection of a single storey glass enclosure to the rear garden at lower ground floor level with opening roof sections, installation of replacement windows, enlargement of window openings and fenestration changes. A roof system/enclosure was constructed at the property which was not built in accordance with the approved drawings. The construction was higher than the approved scheme and was of more solid appearance. An enforcement notice was served on these works in August 2014 requiring that they be removed or altered in accordance with the September 2013 planning permission. An appeal has been lodged against the enforcement notice on the grounds that planning permission should be granted for the works and that the City Council have not allowed adequate time for the notice to be complied with. The appeal has yet to be determined.

5. THE PROPOSAL

This application seeks approval for an amended scheme for an openable glazed roof enclosing the rear garden. It is lower than the approved scheme both in its overall height and its height at the boundary with No. 8 Archery Close. It differs from the approved scheme in design as it has more of a solid surround with a glazed openable central roof area.

6. DETAILED CONSIDERATIONS

6.1 Land Use

No change of land use is proposed as part of the application. Policy H3 states that proposals for extensions to existing housing will be acceptable in principle.

6.2 Townscape and Design

As with the approved 2013 application, the addition of the glazed infill extension in this location is considered acceptable in design terms because of its limited visibility in a largely enclosed location. There are already a number of examples of rear extensions in the street where the gap between the Archery Close and Connaught Square properties is fully infilled including between Nos. 1-6 Archery Close and 25-30 Connaught Square and most properties have at least part of the rear yard infilled. The proposed infill at No.7 is less conspicuous than many of these due to the largely glazed nature of the infill, the ability for it to be opened and the fact it is lower than most examples. The former two elements also allow a continued appreciation of the original gap between the mews building and its neighbour on Connaught Square.

Although not as lightweight a design as the approved scheme due to the solid element surrounding the glazed openable roof, it is still a largely glazed structure between solid boundary walls and any increase in solidity is considered to be compensated for by the reduction in height in terms of its visual impact.

Objections from the neighbour at No.8 have been received on the grounds that the approved design was lightweight compared with what was built which was more solid with cavity wall, part solid roof and heavy dark coloured metal frame and with a height of 3.45m as opposed to the approved 2.6m. As discussed above, the proposal under consideration is lower than the unauthorised and the permitted scheme and although the design is altered to introduce more solid elements, for the reasons outlined above, it is considered acceptable on design grounds.

The objector has also objected to the loss of much of the original rear wall to create an open plan area rather than adding two patio doors and two fixed windows as shown on the previously approved drawings. It is not considered that the removal of the lower ground floor wall is contentious in design terms. Such works would not be visible and could be completed under permitted development once the planning permission was implemented and the wall became internal.

The objector has also stated that the proposal is incompatible with the surrounding residential environment and is of more commercial than residential appearance. However, the predominant material is glass and metal framing which is commonly used in a residential environment. The limited height and location at lower ground floor level largely between existing boundary walls means that this is not considered a sustainable reason for refusal.

6.3 Residential Amenity

It is not considered that the proposal would result in any detrimental impact to the amenity of surrounding properties. The roof would be contained on three sides within existing blank walls and the rear wall of the host building. At the boundary with No. 8 Archery Close the proposal would result in an increase of approximately 30cm. The structure would then slope up from this height away from the boundary to accommodate the glazed roofing system and would have a modest maximum height of 2.5m (2.6m if measured from No.8 patio level as requested by the objector). This means that the proposal is 1 cm lower than the approved scheme at its maximum height and 50cm lower at the boundary wall with No.8. It is considered that this reduction in height compensates in amenity terms for the fact that the proposed scheme does not have a glazed side panel which could in any case be internally blocked to prevent light penetration. The proposal would not have a material impact on the amenity of No.8 in terms of loss of daylight/sunlight or sense of enclosure considering the modest increase in height proposed at the boundary and the fact the yard area is already largely enclosed in any case.

The occupiers of No.8 have objected to the proposal on the grounds of loss of light and sense of enclosure which as explained above are not considered sustainable. The objection states that the fact that the proposal occupies 100% of the curtilage of the back yard area means that the proposal increases the sense of enclosure to No. 8 and does not provide amenity space for sitting out, rainwater drainage and repair and maintenance of surrounding properties. It is considered that key to the sense of enclosure experienced by No.8 is the increase in height adjacent to their boundary as opposed to the amount of the neighbouring premises occupied by the roof. There are numerous examples along the street of where the gap between the buildings on Archery Close and Connaught Square have been fully infilled and many examples where they have been partly infilled. Because of their enclosed nature, the yards have limited amenity value and in the case of this proposal, as with the 2013 permission, the openable glazed roof at least allows the area to be multifunctional and become a semi outside space when required. The maintenance of the subject premises and neighbouring properties could still be facilitated regardless of if the proposal was erected or not.

Although not a planning consideration, the applicant has demonstrated in their amended drawings that provision has been made for rainwater drainage from the extension within the application site.

The objector also states that any height above 2.6m and not of a glass construction will always interfere with light to Archery Close and should not be acceptable as previously stated by the Planning department. This appears to be referring to an extract of the officer's report for the September 2013 planning permission which merely stated that that proposal resulted in only a modest 2.6m height at the boundary wall and would not have a significant impact on the daylight and sunlight or sense of enclosure to No.8. It did not suggest that any increase beyond that would result in an unacceptable impact on the light to No.8. In any case the height of the enclosure at the boundary wall of the proposed scheme is less than 2.6m (approximately 2.1m when measured from the patio of No.8).

6.4 Transportation/Parking

Not applicable.

6.5 Economic Considerations

Not applicable.

6.6 Diversities and Equalities

Not applicable.

6.7 Other City Plan/UDP/Westminster Policy Considerations

Not applicable.

6.8 London Plan

Not applicable.

6.9 Planning Obligations

Not applicable.

6.10 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

Not relevant.

6.12 Other Matters

The occupiers of No.8 have stated that they were not consulted on the 2013 application. Council records indicate that letters were sent to six neighbouring properties, including No.8 on 25 July 2013 as part of the consultation for this application. Site and press notices were also published.

The objectors pointed out in their response to the initial consultation that a number of inaccuracies were present on the submitted drawings including the position of the balcony handrail, French door lintel and height of person standing on the flat roof of No. 8. The applicant has since revised the drawings to correct these inaccuracies.

It was also pointed out that the title/description of the proposal as a "glass enclosure" is inaccurate because it does not have a glass side panel and has a part solid roof. The majority of the enclosure is made up of glazed panels and it is not considered that the description is inaccurate, however, for absolute clarity the description of the proposal has been changed to "Erection of glazed openable roof to enclose rear garden at lower ground floor level".

An objection has also been received on the grounds the original planning permission was totally ignored and replaced by an unauthorised extension and that the City of Westminster were aware it had been constructed incorrectly as at a later date they were supplied with the name of an Approved Inspector's firm by Building Regulations. It is unclear exactly how this objection relates to the proposal. The fact that the objector had been provided with details of the Approved Inspector for the extension does not mean that the City Councils District Surveyor would have a responsibility to check it had been built in accordance with the relevant planning permission. The Approved Inspector has a statutory obligation to review the development against Building Regulations, not the planning permission, The City Council is not obliged to reassess the Approved Inspector's Building Regulations work let alone review it against the planning permission.

The objector states that the boundary wall between No.7 and No.8 is not a party wall but is constructed on No.8 side. Although party wall issues are not planning considerations, notifying all with an ownership interest in the land where the works are proposed is required. The owner of No. 8 was served with notice of the application as part of the application according to the planning application form. It would appear in any case that the proposal involves the construction of the side wall of the enclosure inside the existing wall.

The objection also states that no provision has been made within the boundary of No.7 for rainwater drainage, that the current guttering is attached to nothing and water cascades onto the patio of 8 Archery Close. Coping stones added to the boundary wall with No. 8 should be removed to prevent splashing onto No. 8 which can affect foundations and increase dampness in No. 8. As discussed above, the applicant's amended drawings have addressed the issue of rainwater drainage and show that this will be provided for within the site. It is not considered that it would be reasonable for the application to be refused on this basis.

An objection has also been lodged on the grounds that the applicant should be required to demolish the unauthorised extension and the Council should not consider alternative applications until this is done. This would neither be reasonable nor helpful in regularising the unauthorised works.

The objectors also question why the applicant needs to make a further application on the same subject. A new application was required for the works as the proposal under consideration is materially different to the approved scheme.

7. CONCLUSION

It is recommended that conditional permission is granted for the proposal.

BACKGROUND PAPERS

1. Application form.
2. Letter from owner/occupier of 8 Archery Close dated 11.12.2014
3. E-mail from owner/occupier of 30 Connaught Square dated 17.12.2014
4. Letter from owner/occupier of 8 Archery Close dated 9.02.2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT NATHAN BARRETT ON 020 7641 5943 OR BY E-MAIL – nbarrett@westminster.gov.uk

DRAFT DECISION LETTER

Address: 7 Archery Close, London, W2 2BE

Proposal: Erection of glazed openable roof to enclose rear garden at lower ground floor level.

Plan Nos: Revised drawings 1269SK001; 1269SK002; 1269PL930RevA; 1269PL931RevA; 1269PL932RevA; 1269PL933RevA; 1269PL934RevA; 1269PL940RevA; 1269PL941RevA; 1269PL942RevA; 1269PL943RevA; 1269PL944RevA; 1269PL950RevA; 1269PL951RevA; 1269PL952RevA; 1269PL953RevA; 1269PL954RevA;

Case Officer: Richard Langston

Direct Tel. No. 020 7641 7923

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

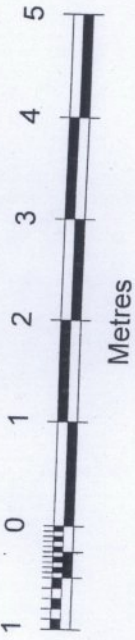
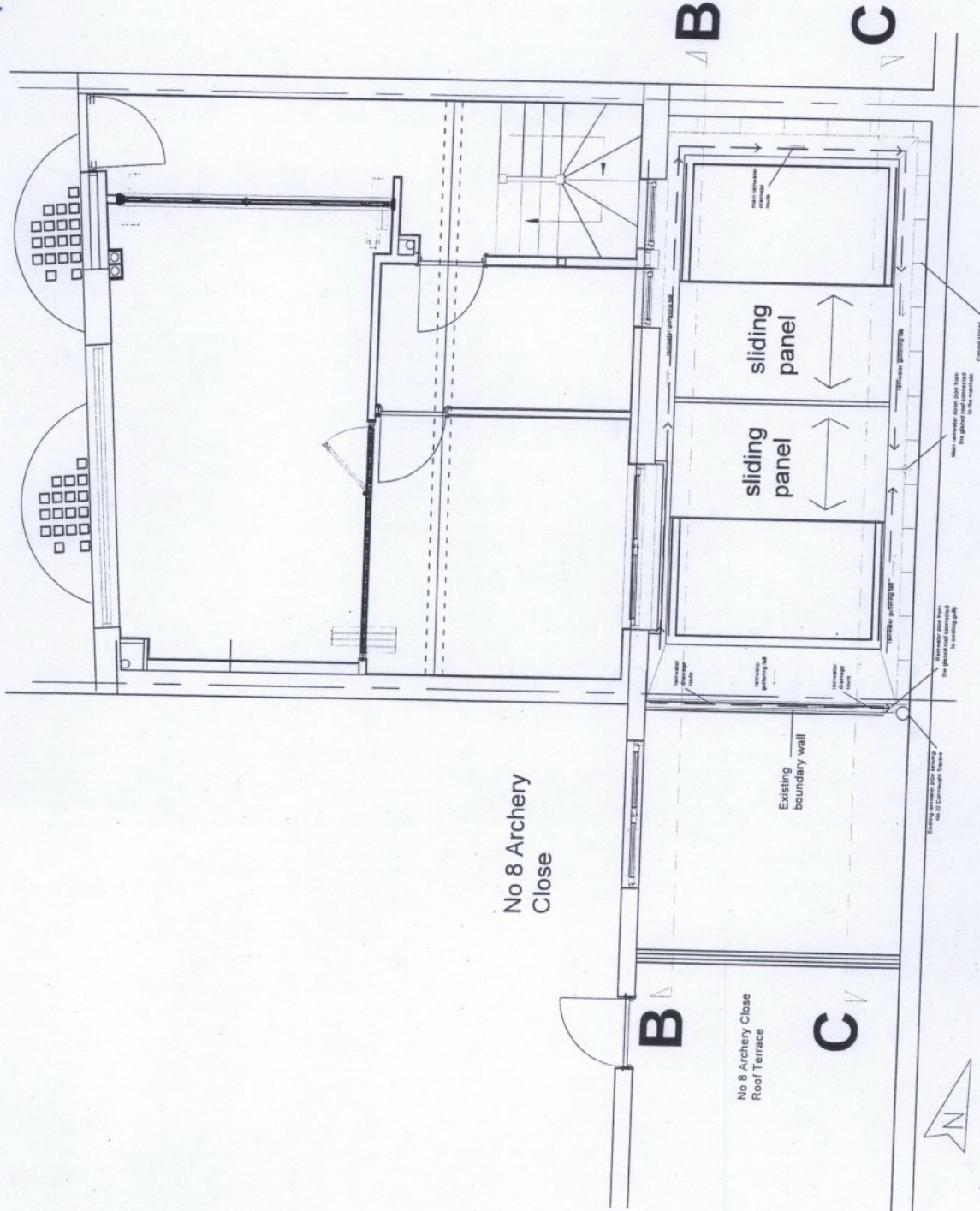
Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

Proposed



REAR EXTENSION ROOF PLAN

NOTES:

1. CHANGING DEVELOPMENT: The drawings are submitted for planning and building control. The applicant is advised that the drawings are not to be used for construction without the approval of the relevant authorities. The applicant is responsible for obtaining all necessary permissions and consents from the relevant authorities. The applicant is responsible for ensuring that the drawings comply with all applicable regulations and standards. The applicant is responsible for ensuring that the drawings are accurate and complete. The applicant is responsible for ensuring that the drawings are submitted in a timely manner. The applicant is responsible for ensuring that the drawings are submitted in a clear and legible format. The applicant is responsible for ensuring that the drawings are submitted in a secure manner. The applicant is responsible for ensuring that the drawings are submitted in a safe manner. The applicant is responsible for ensuring that the drawings are submitted in a secure and safe manner.

ANNEXATION: ARCHERY A
 150112
 REGION: LONDON
 PLANNING APPLICATION #:
 141112
 ARCHERY CLOSE
 HOUSE NO 7

PLANNING APPLICATION
 LONDON
 REAR EXTENSION
 ROOF PLAN
 Project No: 150112

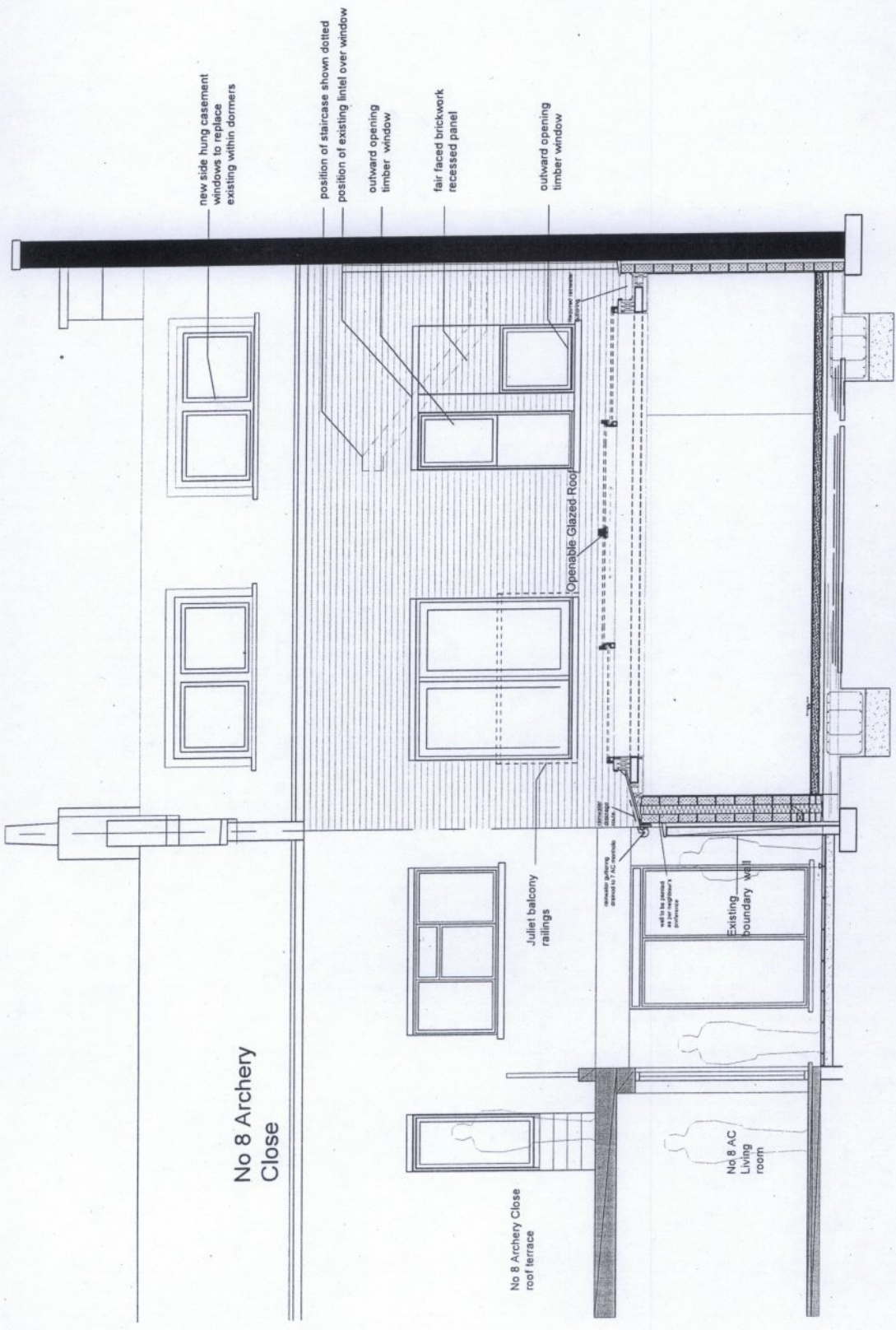
NAME: [REDACTED]
 DATE: [REDACTED]
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]
 SCALE: 1:50
 SHEET NO: 1/1

1269 PL 934 A30

NOTES:
 CHANGING LOCAL DEVELOPMENT. The
 drawing is NOT a final stage or a final
 approval. It is a preliminary drawing
 prepared for the purpose of this drawing
 and is not to be used for any other
 purpose without the consent of the
 Council.
 DESIGN COORDINATION. All work
 shall be coordinated with the relevant
 authorities and the relevant
 departments of the Council. The
 design shall be subject to the
 approval of the Council. The
 Council reserves the right to
 alter the design and to require
 the design to be altered at any
 time.

NEIGHBOURING ELEVATION SHOWN
 AND APPROVED A
 14.12.18
 DESIGNED FOR
 PLANNING APPLICATION #
 14.11.12
 ARCHERY CLOSE
 HOUSE NO 7
 PLANNING APPLICATION
 LONDON
 SECTION B-B
 (Proposed Elevation)
 1/50@A3
 PH
 HE
 14.11.12
 1269 PL 932 A30

Proposed



new side hung casement windows to replace existing within dormers

position of staircase shown dotted
 position of existing lintel over window

outward opening timber window

fair faced brickwork recessed panel

outward opening timber window

Openable Glazed Roof

Juliet balcony railings

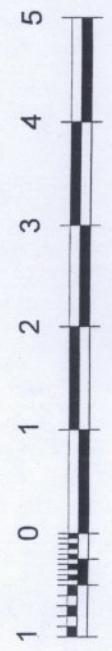
No 8 Archery Close roof terrace

No 8 AC Living room

Existing boundary wall

SECTION B-B

(section through closed glazed Roof above courtyard)



Metres

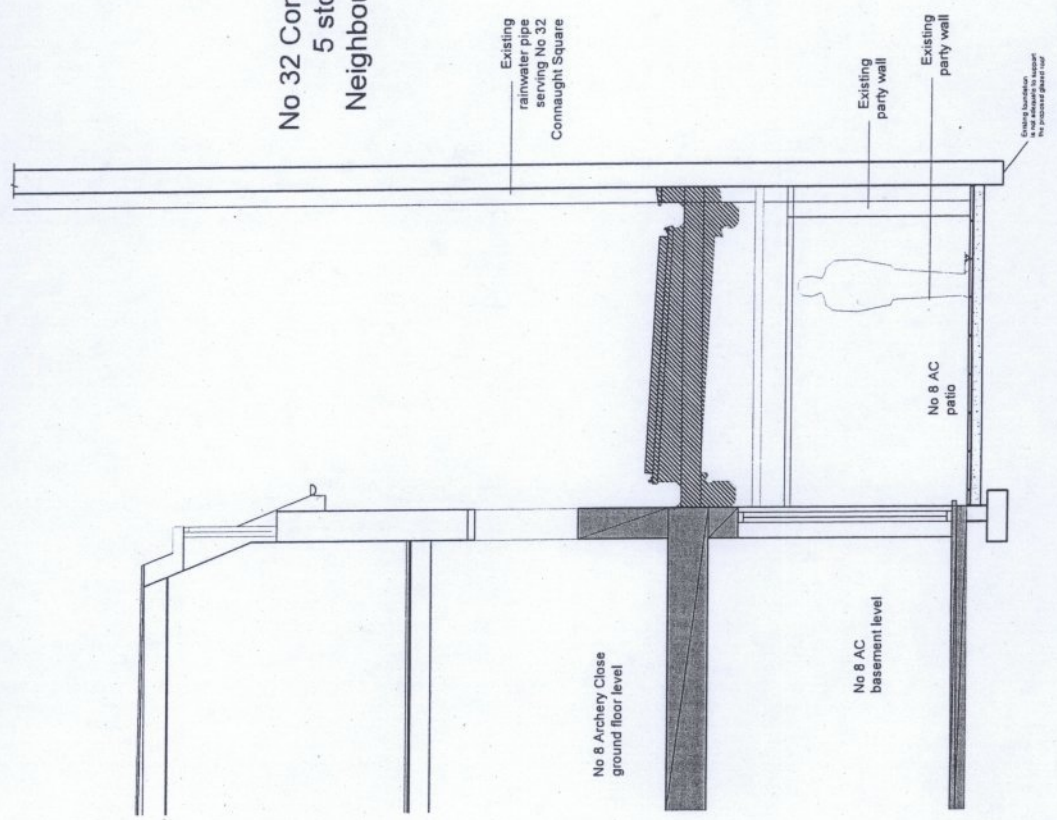
NOTES

GROUND DATA DEVELOPMENT: The production of this drawing and other information contained herein is based on data provided by the client. The client is responsible for the accuracy of the data provided. The client is also responsible for the accuracy of the information provided in the accompanying planning application. The client is also responsible for the accuracy of the information provided in the accompanying planning application. The client is also responsible for the accuracy of the information provided in the accompanying planning application.

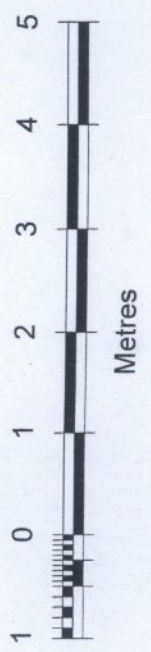
ISSUED FOR: ARCHERY CLOSE HOUSE, NO. 7
PLANNING APPLICATION # 14.11.12
LONDON
SIDE ELEVATION
SCALE: 1/50@A3
DATE: 14.11.12
PROJECT: 1269PL 941#30
DRAWN BY: [Name]

Unauthorised

No 32 Connaught Square
5 storey Rear
Neighbouring Property



SIDE ELEVATION
(from No 8 Archery Close Patio)

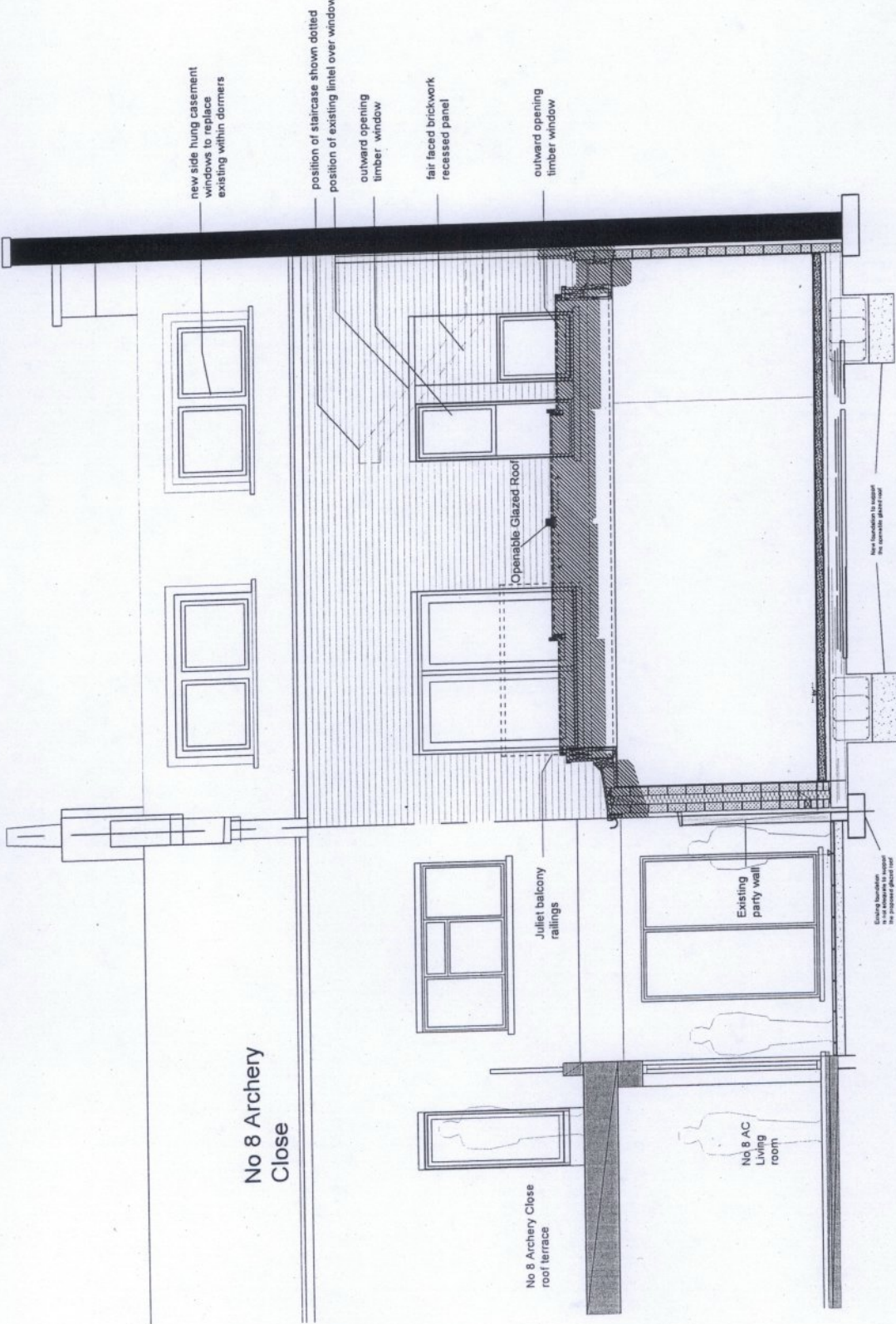


NOTE

SECTION B-B (SEE PLAN) The drawing is NOT a structural drawing or a structural calculation. It is a schematic drawing showing the proposed alterations to the existing building. It is not intended to be used as a basis for any structural design.

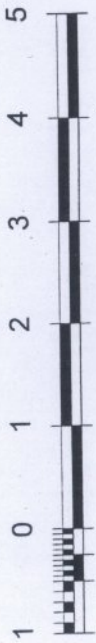
SECTION COORDINATION: No other drawings, MEP services and other services have been provided by the client, therefore the architect is not responsible for any coordination or integration of these services with other disciplines. It is the responsibility of the client to ensure that all necessary services are coordinated with the architect and that any liability for any third party design.

Unauthorized



SECTION B-B

(section through closed glazed roof above courtyard)



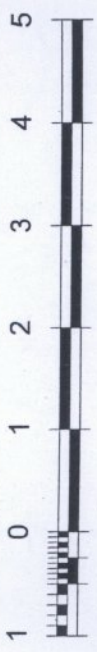
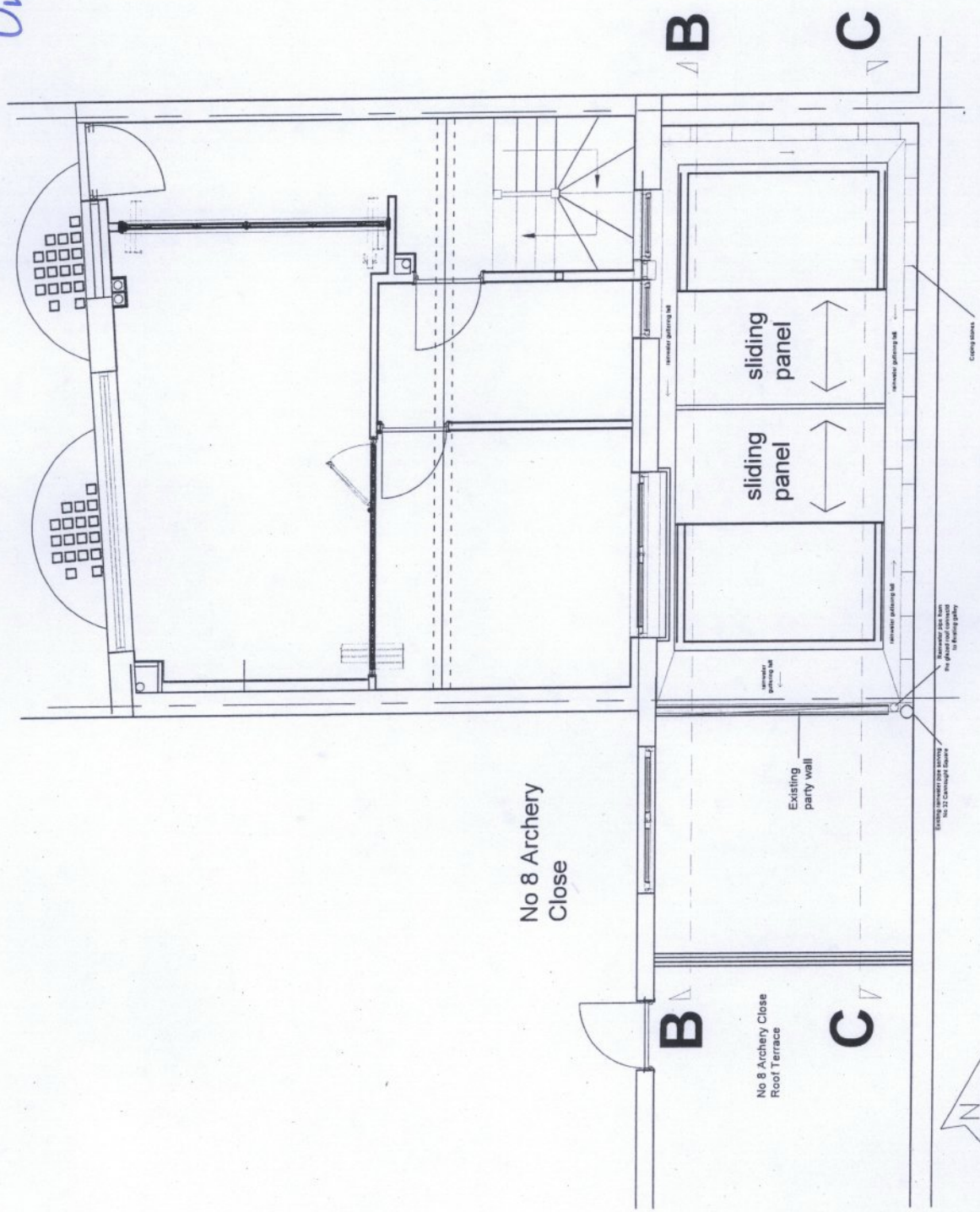
Metres

ISSUED FOR: PLANNING APPLICATION # 14.11.12
 ARCHERY CLOSE HOUSE NO. 7
 LONDON
 SECTION B-B (see full drawing)
 1/50 @ A3
 14.11.12
 1269PL94230

Unauthorized

NOTES:
1. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS.
4. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING OR TO THE SURROUNDING AREA.
5. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING.
6. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING.
7. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING.
8. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING.
9. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING.
10. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING.

ISSUED FOR: 14.11.12
PLANNING APPLICATION # 14.11.12
AFCHEERY CLOSE HOUSE NO. 7
LONDON
REAR EXTENSION
1/500A.3
14.11.12
1260PL94430



REAR EXTENSION ROOF PLAN